# **SYMBOLS** CENTERLINE NORTH ARROW **BUILDING SECTION** WALL SECTION DETAIL **ENLARGED PLAN OR DETAIL** EXTERIOR ELEVATION INTERIOR ELEVATION EXIT TO GRADE WINDOW TAG DOOR TAG WALL TAG **KEYED NOTE ELECTRICAL** SERVICE PANEL **TEMPERED** GLASS **ROOM NAME ROOM TAG** GRID LINE X TITLE SCALE DRAWING TITLE + LOCATION HEIGHT ELEVATION **REFERENCE** SMOKE DETECTOR / CARBON MONOXIDE DETECTOR CMD INSULATION FLOOR DRAIN EXHAUST FAN

## **GENERAL NOTES**

1. ALL PERMITS TO BE SECURED WITH AUTHORITY HAVING JURISDICTION BEFORE CONSTRUCTION COMMENCES. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE RULES, REGULATIONS, ORDINANCES AND CODES OF THE AUTHORITY HAVING

2. APPROVED PLANS MUST BE AVAILABLE ON THE JOBSITE AT ALL TIMES. IF NOT AVAILABLE, INSPECTION WILL NOT COMMENCE.

3. THE CONTRACTOR SHALL VERIFY DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.

4. ALL DIMENSIONS ARE FROM FACE OF STUD OR FRAMING MEMBER UNLESS OTHERWISE INDICATED.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTION OF WORK AT HIS/HER OWN EXPENSE FOR WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DOCUMENTS.

6. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S NEGLIGENCE OR INADEQUATE PROTECTIVE OR SECURITY MEASURES DURING CONSTRUCTION ARE TO BE CORRECTED BY HIS/HER OWN EXPENSE.

7. CONTRACTOR TO VERIFY SIZE AND LOCATION OF DUCT OPENINGS AND PLUMBING RUNS WITH MECHANICAL CONTRACTOR BEFORE OPENINGS ARE MADE IN EXISTING FLOORS. DUCT OPENINGS IN FIRE RATED WALLS SHALL HAVE FIRE DAMPERS. SEAL BETWEEN DUCTS AND PARTITIONS WHERE REQUIRED.

8. CONTRACTOR SHALL COORDINATE THE LOCATION OF ACCESS PANELS FOR MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT WITH THE ARCHITECT.

9. CONTRACTOR TO PROVIDE NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR OTHER SUPPORT REQUIRED FOR INCLUDING BUT NOT LIMITED TO FIXTURES, EQUIPMENT, CABINETRY AND FINISHES.

10. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF OWNER PURCHASED APPLIANCES AND FURNISHINGS.

11. ALL GLAZED PANELS INCLUDING GLASS DOORS WITHIN 18" OF THE FLOOR SHALL BE TEMPERED GLASS. SEE WINDOW SCHEDULE.

12. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION SHALL BE FULLY TEMPERED.

13. SWINGING DOORS AND WINDOWS TO THE EXTERIOR OR TO UNCONDITIONED SPACES SHALL BE FULLY WEATHERSTRIPPED TO

14. FLASHING AND COUNTER FLASHING SHALL BE PROVIDED AT ALL EXTERIOR OPENINGS THAT ARE EXPOSED TO THE WEATHER.

15. FLASHING SHALL BE PROVIDED AT ALL ROOF PENETRATIONS.

16. ALL NEW PAINTED SURFACES TO RECEIVE ONE COAT PRIMER, TWO COATS FINISH PAINT.

17. CONTRACTOR TO ENSURE THAT ALL DRYWALL IS FLUSH, CLEAN AND FREE OF DEBRIS PRIOR TO INSTALLATION OF WALL FINISHES.

18. CONTRACTOR TO ENSURE SUBFLOOR IS CLEAN AND SOLID AND LEVEL PRIOR TO INSTALLATION OF FINISH FLOOR.

19. CONTRACTOR TO PROVIDE SHOP DRAWINGS PRIOR TO THE FABRICATION OF WINDOWS, DOORS, CABINETRY AND

20. CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE ARCHITECT

FOR REVIEW AND APPROVAL FOR THE FOLLOWING: A. ALL METAL FABRICATIONS.

B. ALL INTERIOR FINISH MATERIALS.

C. ALL MECHANICAL EQUIPMENT AND PLUMBING FIXTURES.

D. ALL ELECTRICAL EQUIPMENT. E. ALL LIGHT FIXTURES.

F. ALL GLAZING.

21. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF LIGHT FIXTURES BEFORE FRAMING CEILINGS. CONTRACTOR TO NOTIFY ARCHITECT IF THERE ARE CONFLICTS WITH THE CONSTRUCTION DOCUMENTS.

22. ALL CHANGE ORDER REQUESTS MUST BE APPROVED IN WRITING BY BOTH CLIENT AND ARCHITECT BEFORE PROCEEDING WITH WORK.

23. JOBSITE MUST BE MAINTAINED AS A CLEAN, ORDERLY AND SAFE ENVIRONMENT AT ALL TIMES.

24. THE CONTRACTOR IS TO ABIDE BY THE FOLLOWING UTAH STATE RULES OF THE UTAH DIVISION OF AIR QUALITY:

> R307-309 FOR DUST CONTROL R307-801 FOR ASBESTOS

R307-840 FOR LEAD CONTROL

25. ALL DEBRIS AND TRASH TO BE PLACED IN DUMPSTER ON A DAILY BASIS.

26. CALL 811 BEFORE DIGGING TO LOCATE UNDERGROUND



## PROJECT DESCRIPTION

A NEW 650 SF ACCESSORY DWELLING UNIT ATTACHED ABOVE AN EXISTING GARAGE LOCATED AT 2297 S LAKE ST IN SALT LAKE CITY, UT.

# **CODE INFORMATION**

**AGENCY HAVING JURISDICTION (AHJ):** 

SALT LAKE CITY BUILDING SERVICES

## **APPLICABLE CODES:**

2015 INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 INTERNATIONAL FIRE CODE (IFC)

NATIONAL ELECTRIC CODE (NEC) 2015 INTERNATIONAL PLUMBING CODE (IPC)

INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2015 INTERNATIONAL FUEL GAS CODE (IFGC) 2009 ACCESSIBILITY CODE ANSI A117.1 CITY OF SALT LAKE TITLE 21 ZONING ORDINANCE

### **ZONING:**

21A.24.070: R-1/5,000 SINGLE-FAMILY RESIDENTIAL DISTRICT

OCCUPANCY: R, SINGLE-FAMILY RESIDENCE TYPE OF CONSTRUCTION: V-B

# **DRAWING INDEX**

## ARCHITECTURAL

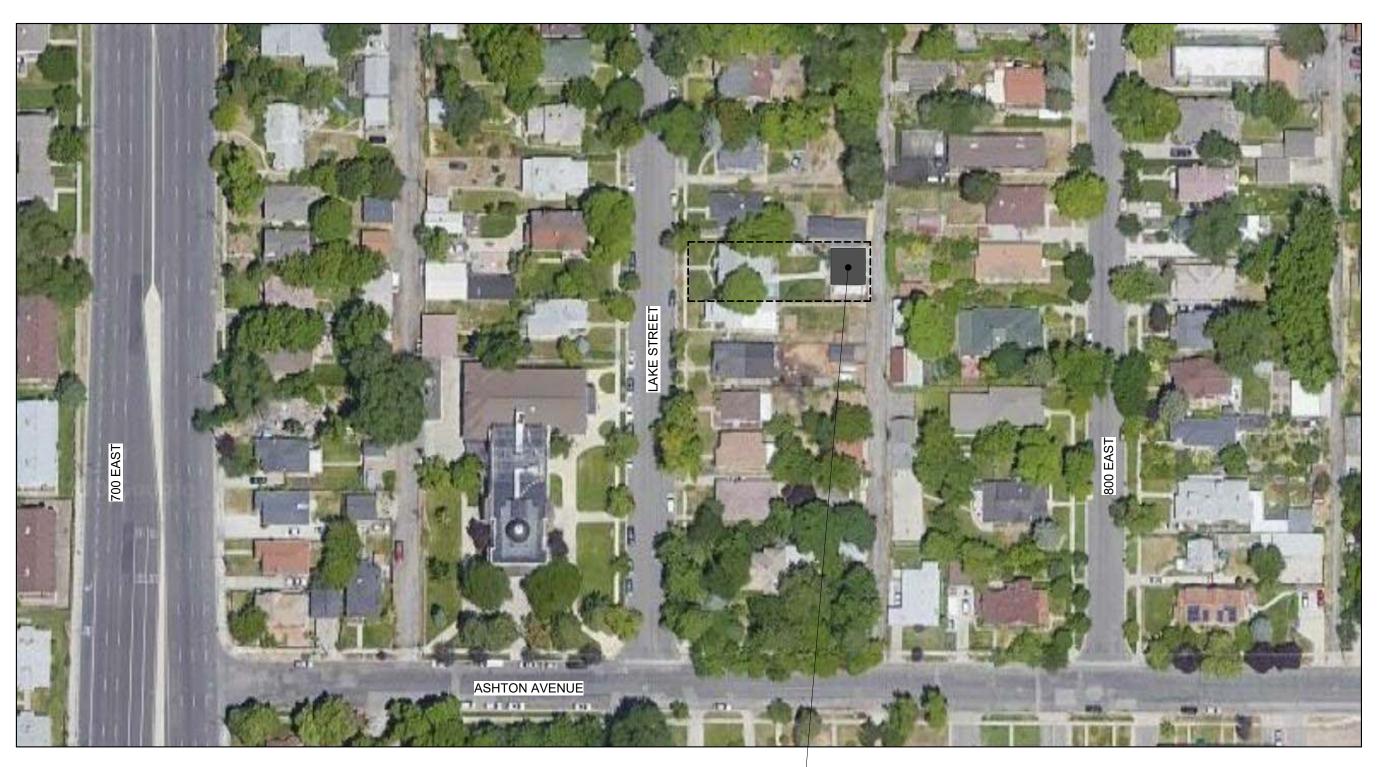
A000 COVER SHEET A001 SITE PLAN A100 FLOOR PLAN

A200 EXTERIOR ELEVATIONS

# STOWE RESIDENCE ADU

**NEW CONSTRUCTION** 

SALT LAKE CITY, UT 84106



ADU LOCATION: 2297 S LAKE STREET

**VICINITY MAP** 



Parallel Lines Studio, LLC Thomas Oakley Bath, RA LEED AP UT license #: 8506769-0301 850 S 400 W #113 Salt Lake City, UT 84101 thomas@parallellines.co 801.441.2203

Christopher and Jerilyn Stowe 2297 S Lake Street Salt Lake City, Utah 84106 christopherstowe@me.com

**REVIEW SET:** NOT FOR CONSTRUCTION

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Date	Set Description
04/07/20	CONDITIONAL USE PERMIT

# STOWE RESIDENCE **ADU**

CHRISTOPHER AND JERILYN STOWE SALT LAKE CITY, UT 84106

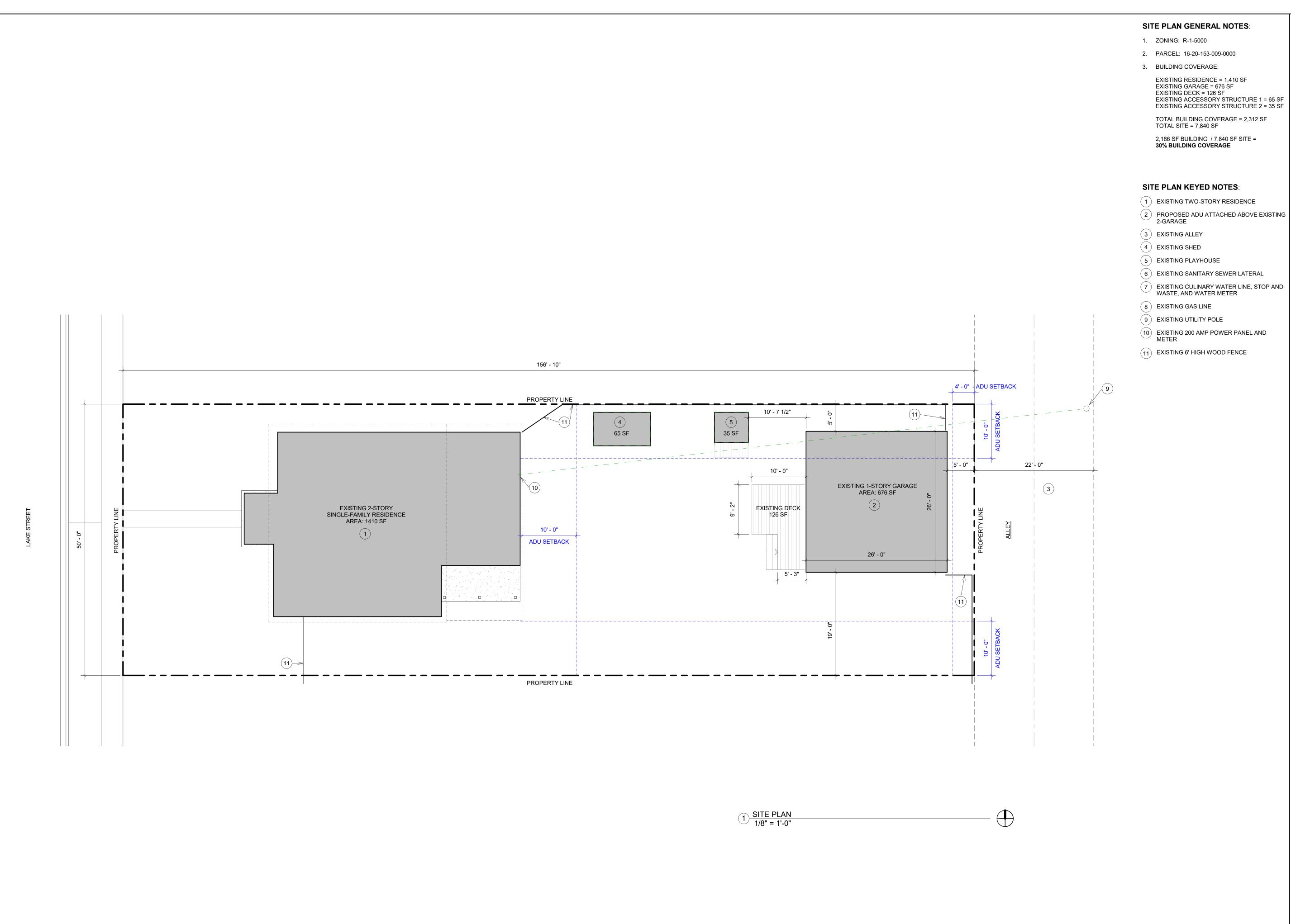
> COVER SHEET

**A000** 

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VIEW REFERENCE



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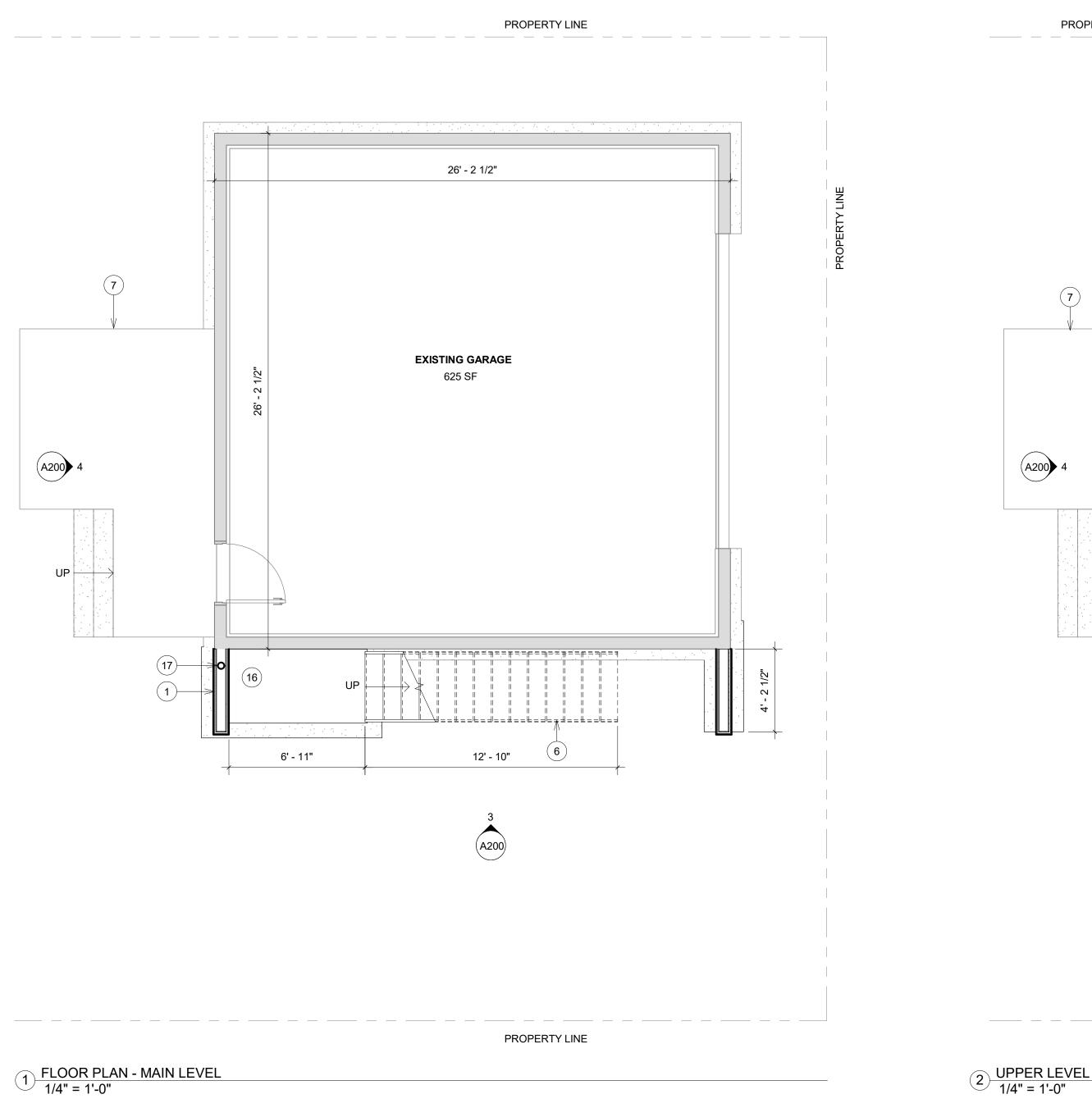
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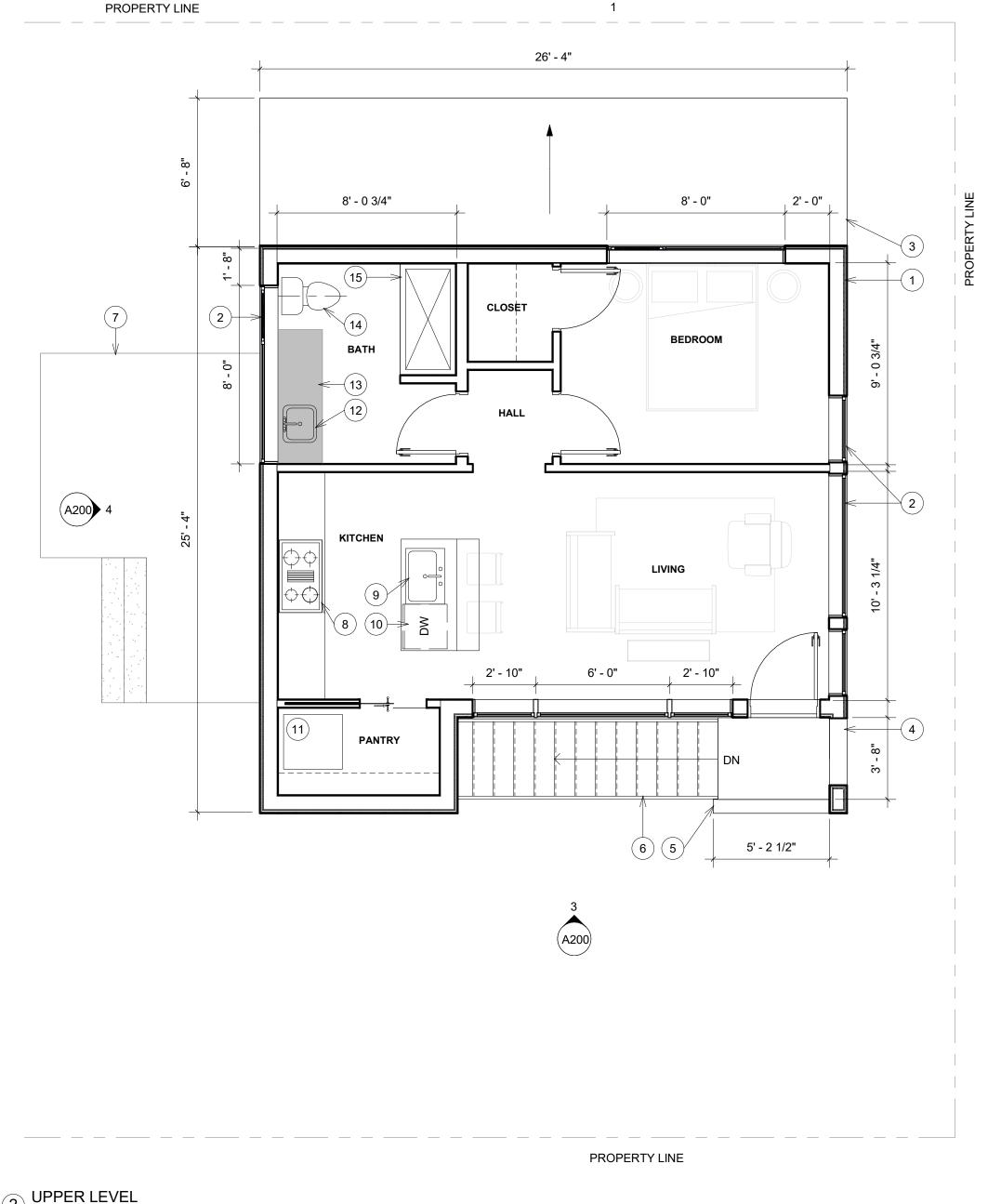
STOWE RESIDENCE ADU

CHRISTOPHER AND JERILYN STOWE SALT LAKE CITY, UT 84106

SITE PLAN

A001





FLOOR PLAN GENERAL NOTES:

- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
- 2. SEE SHEET A600 FOR DOOR AND WINDOW SCHEDULES.
- 3. SEE SHEET A700 FOR ADA CLEARANCES AND STANDARD MOUNTING HEIGHT DETAILS.
- CONCRETE TO BE FINISH FLOOR SURFACE. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- 5. ALL FURNITURE OWNER PROVIDED UNLESS OTHERWISE NOTED, SHOWN FOR REFERENCE ONLY.

PARALLE // INES

## FLOOR PLAN KEYED NOTES:

- 1 EXTERIOR WALL ASSEMBLY, AS SCHEDULED
- window assembly, as scheduled
- (3) ROOF ASSEMBLY, ASPHALT SHINGLES
- 4 FRAMED EXTERIOR WALL OPENING
- 5 PARAPET WALL
- (6) NEW EXTERIOR METAL GRATE STAIR
- 7 EXISTING GARAGE PORCH
- 8 STOVE / OVEN
- 9 UNDER-MOUNT KITCHEN SINK
- (10) UNDER-COUNTER DISHWASHER
- (11) WASHER / DRYER
- (12) UNDER-MOUNT BATHROOM SINK
- (13) COUNTERTOP
- 14 TOILET

2 **A**200

- (15) FIBERGLASS SHOWER INSERT
- (16) CIP CONCRETE PLINTH
- VERTICAL WASTE LINE, TO CONNECT TO NEW SEWER LATERAL

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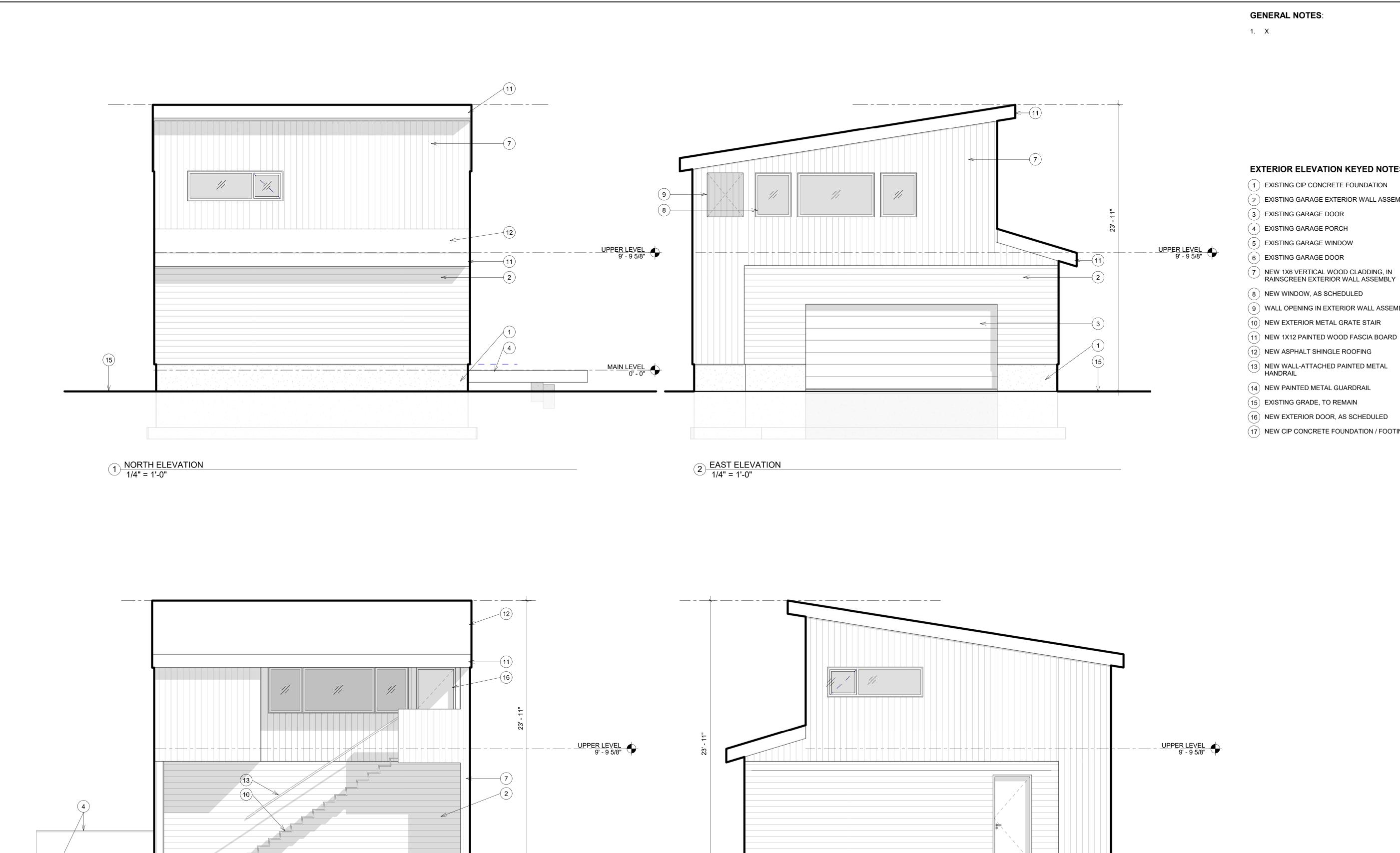
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# STOWE RESIDENCE ADU

CHRISTOPHER AND JERILYN STOWE SALT LAKE CITY, UT 84106

FLOOR PLAN

A100



WEST ELEVATION
1/4" = 1'-0"

**—**(17)

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CLIENT

## **EXTERIOR ELEVATION KEYED NOTES:**

- 1 EXISTING CIP CONCRETE FOUNDATION
- (2) EXISTING GARAGE EXTERIOR WALL ASSEMBLY

- (9) WALL OPENING IN EXTERIOR WALL ASSEMBLY
- (10) NEW EXTERIOR METAL GRATE STAIR
- (11) NEW 1X12 PAINTED WOOD FASCIA BOARD
- (12) NEW ASPHALT SHINGLE ROOFING
- (14) NEW PAINTED METAL GUARDRAIL
- (15) EXISTING GRADE, TO REMAIN
- (16) NEW EXTERIOR DOOR, AS SCHEDULED
- (17) NEW CIP CONCRETE FOUNDATION / FOOTINGS

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# STOWE RESIDENCE ADU

CHRISTOPHER AND JERILYN STOWE SALT LAKE CITY, UT 84106

**EXTERIOR ELEVATIONS** 

**A200** 

3 SOUTH ELEVATION 1/4" = 1'-0"

**—**(17)