

SITE PLAN GENERAL NOTES:

1. ZONING: R-1-5000
2. PARCEL: 16-20-153-009-0000
3. BUILDING COVERAGE:
EXISTING RESIDENCE = 1,410 SF
EXISTING GARAGE = 676 SF
EXISTING DECK = 126 SF
EXISTING ACCESSORY STRUCTURE 1 = 65 SF
EXISTING ACCESSORY STRUCTURE 2 = 35 SF

TOTAL BUILDING COVERAGE = 2,312 SF
TOTAL SITE = 7,840 SF

2,186 SF BUILDING / 7,840 SF SITE =
30% BUILDING COVERAGE

SITE PLAN KEYED NOTES:

1. EXISTING TWO-STORY RESIDENCE
2. PROPOSED ADU ATTACHED ABOVE EXISTING 2-GARAGE
3. EXISTING ALLEY
4. EXISTING SHED
5. EXISTING PLAYHOUSE
6. EXISTING SANITARY SEWER LATERAL
7. EXISTING CULINARY WATER LINE, STOP AND WASTE, AND WATER METER
8. EXISTING GAS LINE
9. EXISTING UTILITY POLE
10. EXISTING 200 AMP POWER PANEL AND METER
11. EXISTING 6' HIGH WOOD FENCE

PARALLEL LINES

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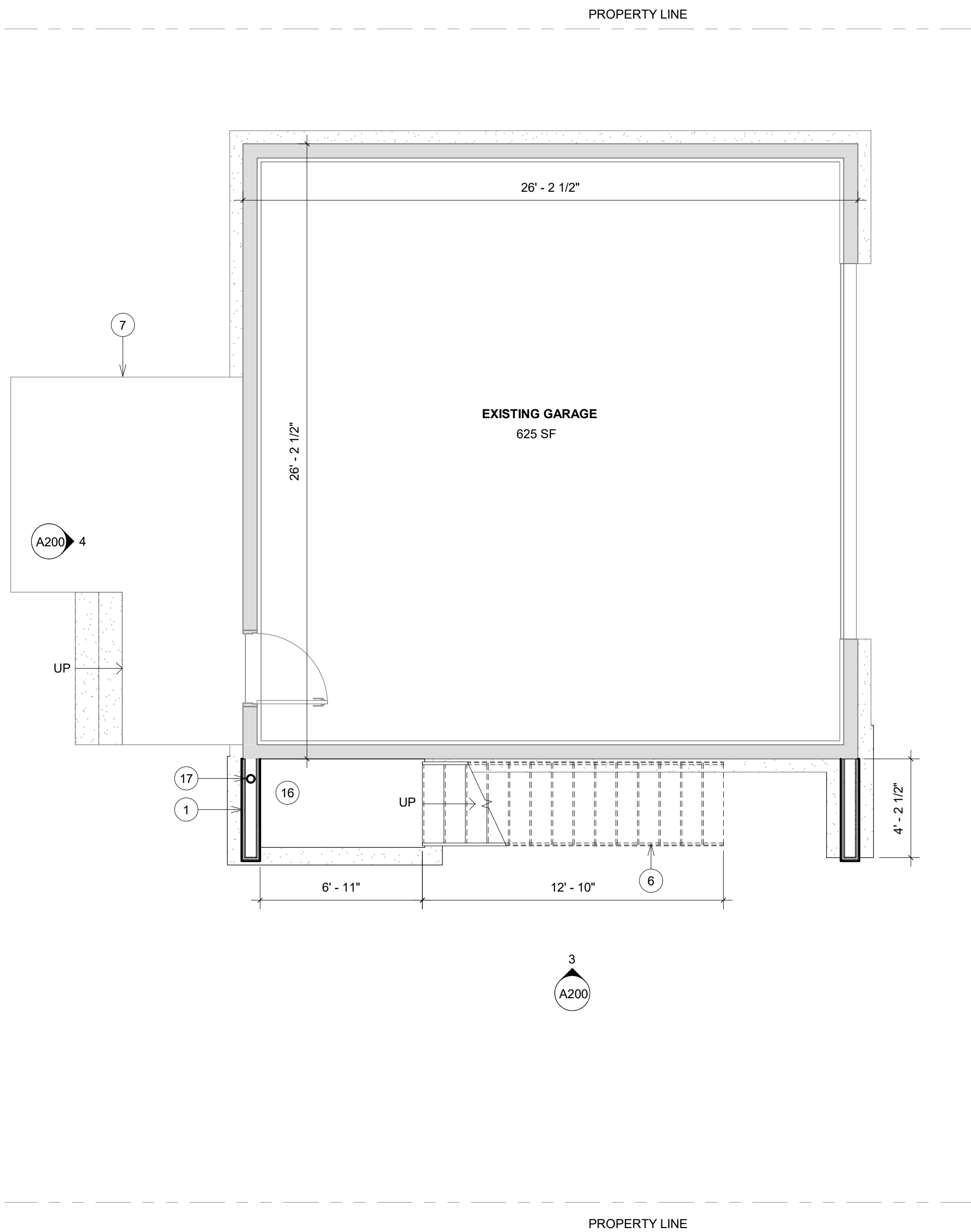
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SITE PLAN

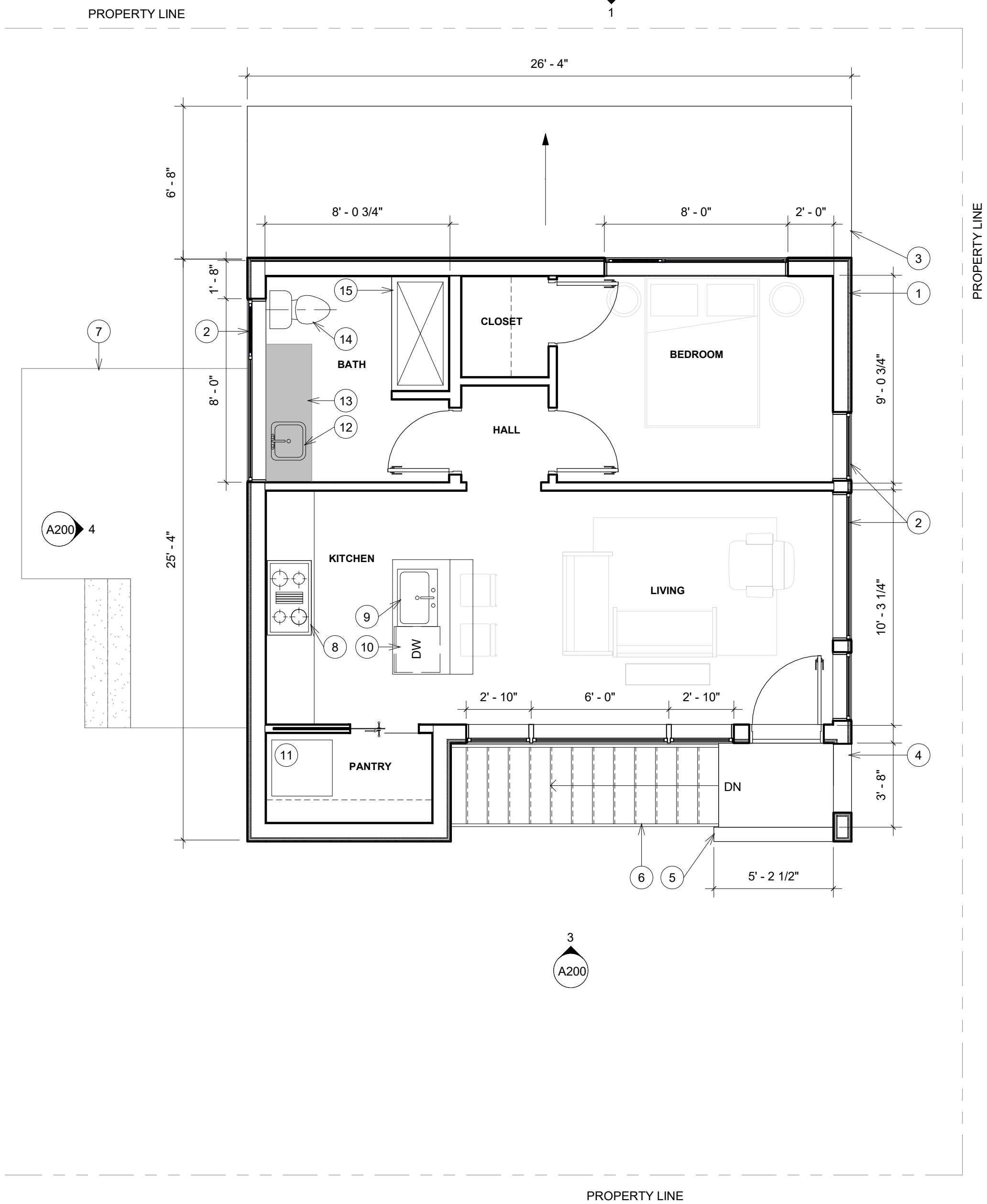
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1 SITE PLAN
1/8" = 1'-0"





1 FLOOR PLAN - MAIN LEVEL
1/4" = 1'-0"



2 UPPER LEVEL
1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES:

- ALL DIMENSIONS TO FACE OF STUD UNLESS OTHERWISE NOTED.
- SEE SHEET A600 FOR DOOR AND WINDOW SCHEDULES.
- SEE SHEET A700 FOR ADA CLEARANCES AND STANDARD MOUNTING HEIGHT DETAILS.
- CONCRETE TO BE FINISH FLOOR SURFACE. PROTECT DURING ALL PHASES OF CONSTRUCTION.
- ALL FURNITURE OWNER PROVIDED UNLESS OTHERWISE NOTED, SHOWN FOR REFERENCE ONLY.

FLOOR PLAN KEYED NOTES:

- EXTERIOR WALL ASSEMBLY, AS SCHEDULED
- WINDOW ASSEMBLY, AS SCHEDULED
- ROOF ASSEMBLY, ASPHALT SHINGLES
- FRAMED EXTERIOR WALL OPENING
- PARAPET WALL
- NEW EXTERIOR METAL GRATE STAIR
- EXISTING GARAGE PORCH
- STOVE / OVEN
- UNDER-MOUNT KITCHEN SINK
- UNDER-COUNTER DISHWASHER
- WASHER / DRYER
- UNDER-MOUNT BATHROOM SINK
- COUNTERTOP
- TOILET
- FIBERGLASS SHOWER INSERT
- CIP CONCRETE PLINTH
- VERTICAL WASTE LINE, TO CONNECT TO NEW SEWER LATERAL

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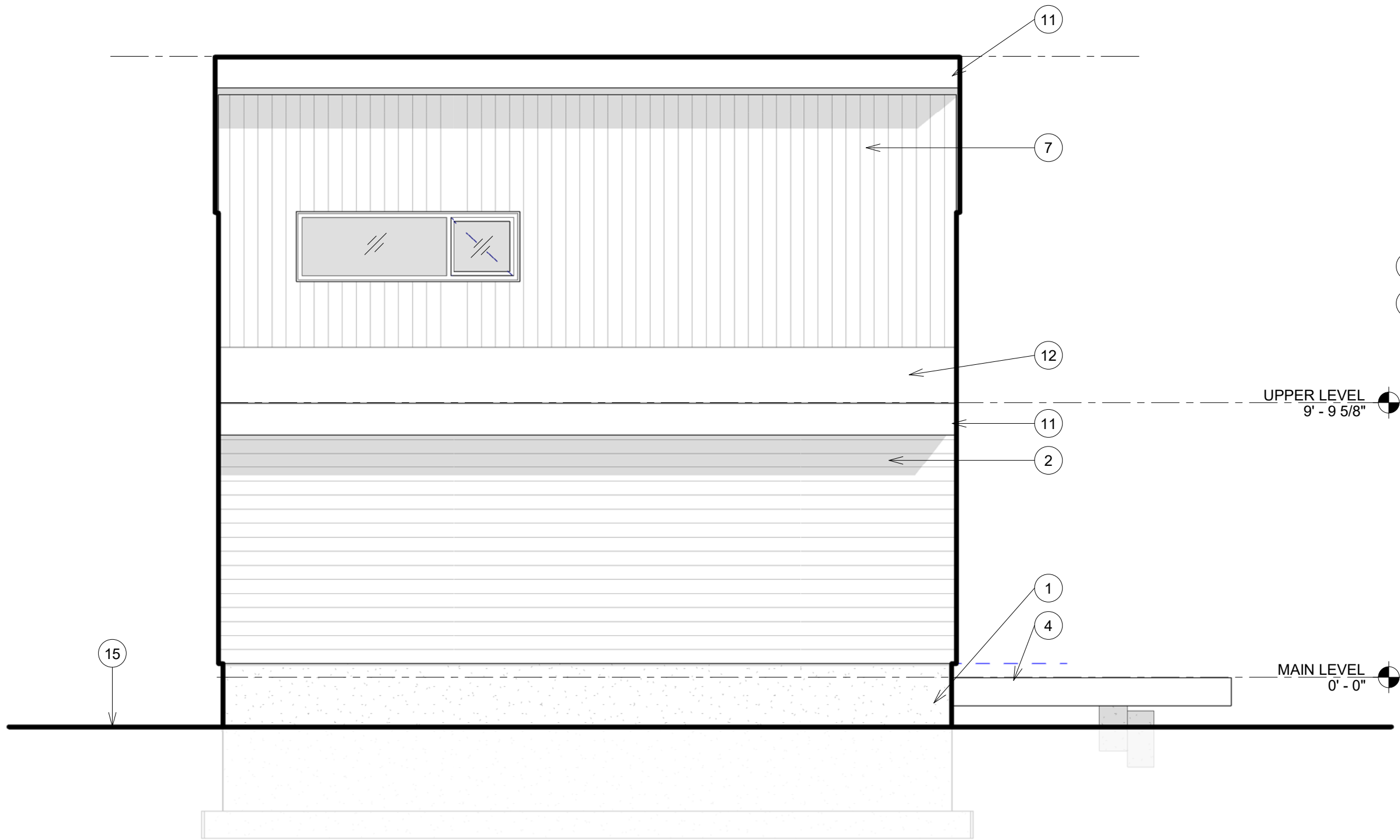
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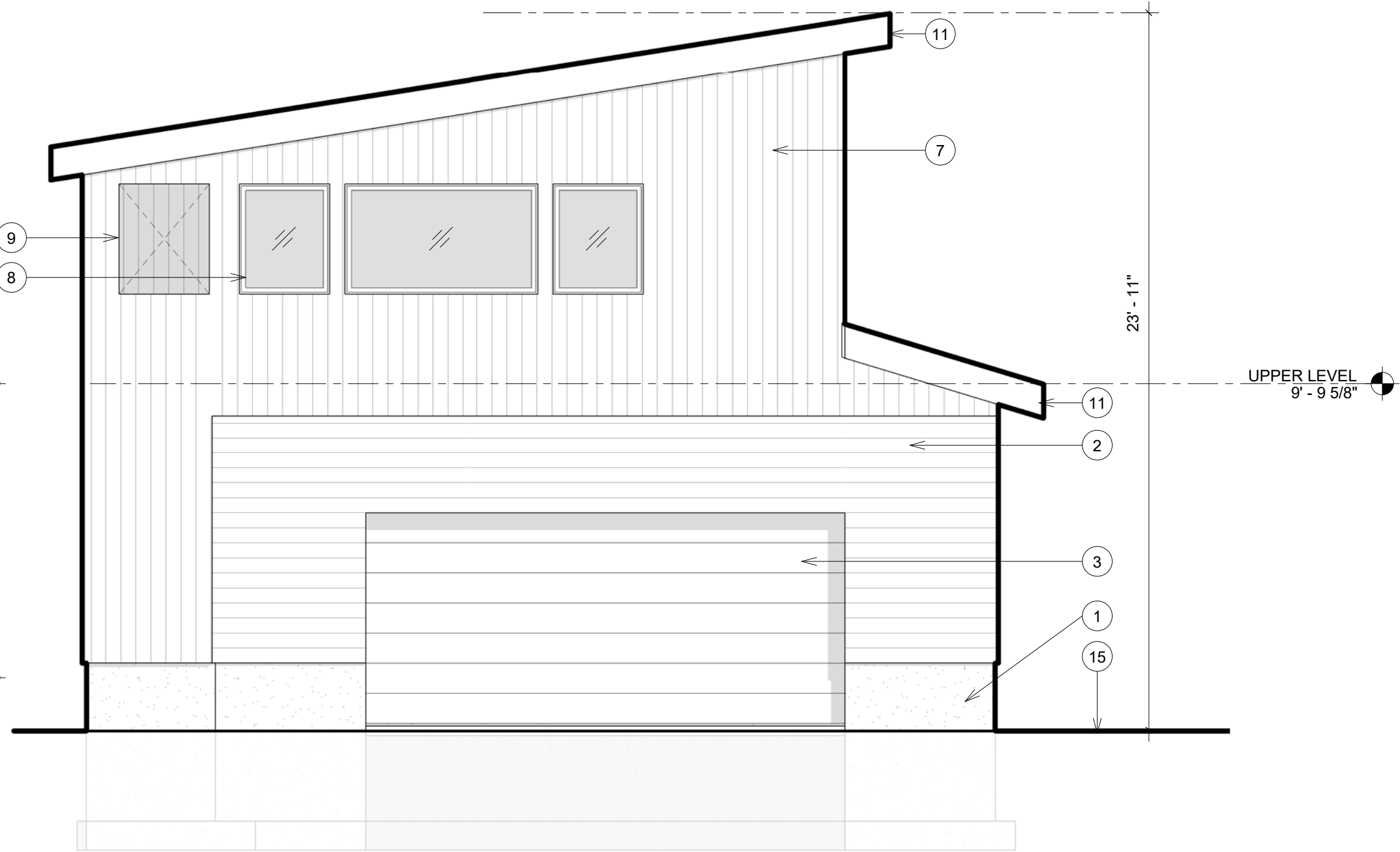
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FLOOR PLAN

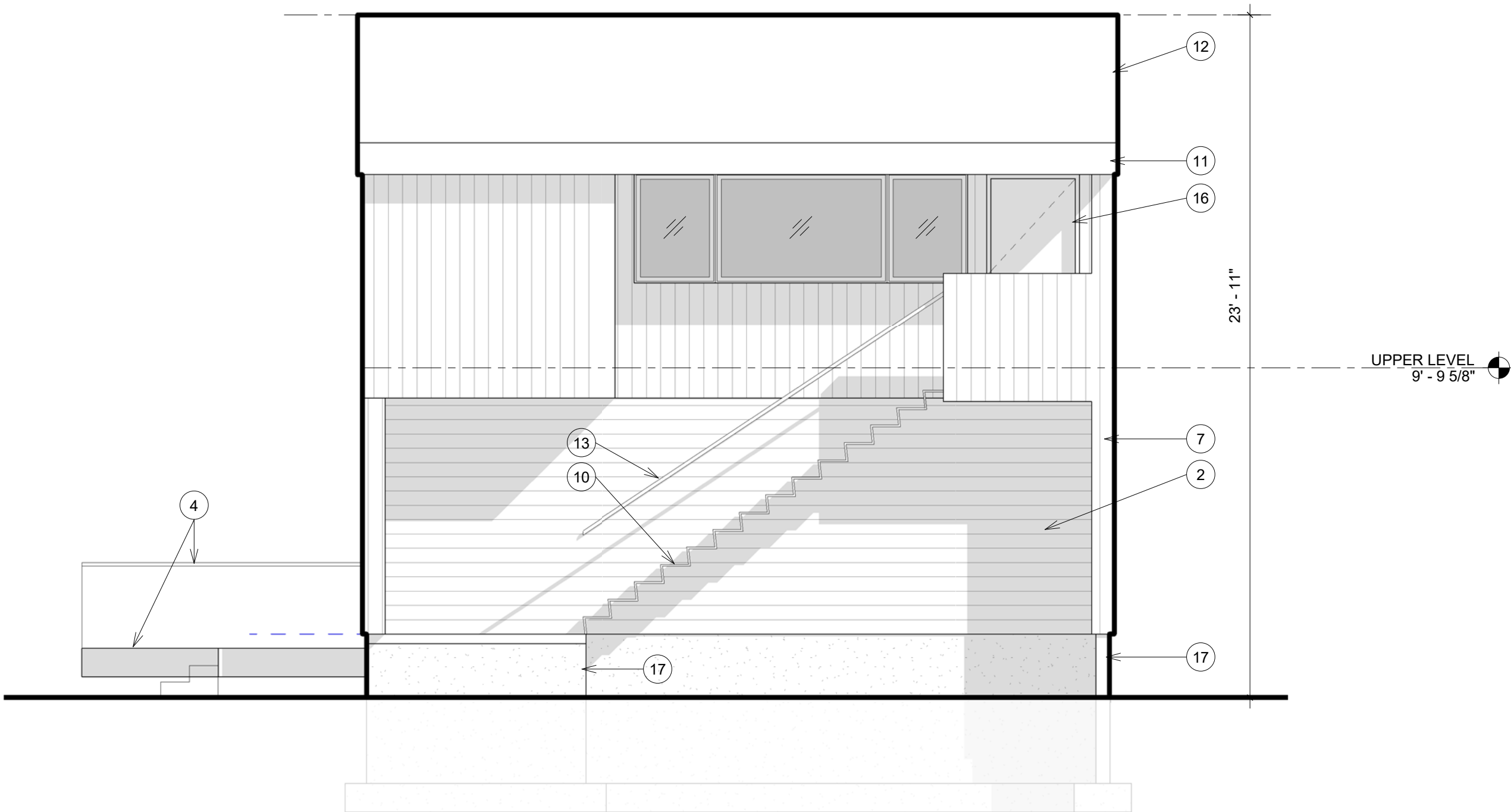
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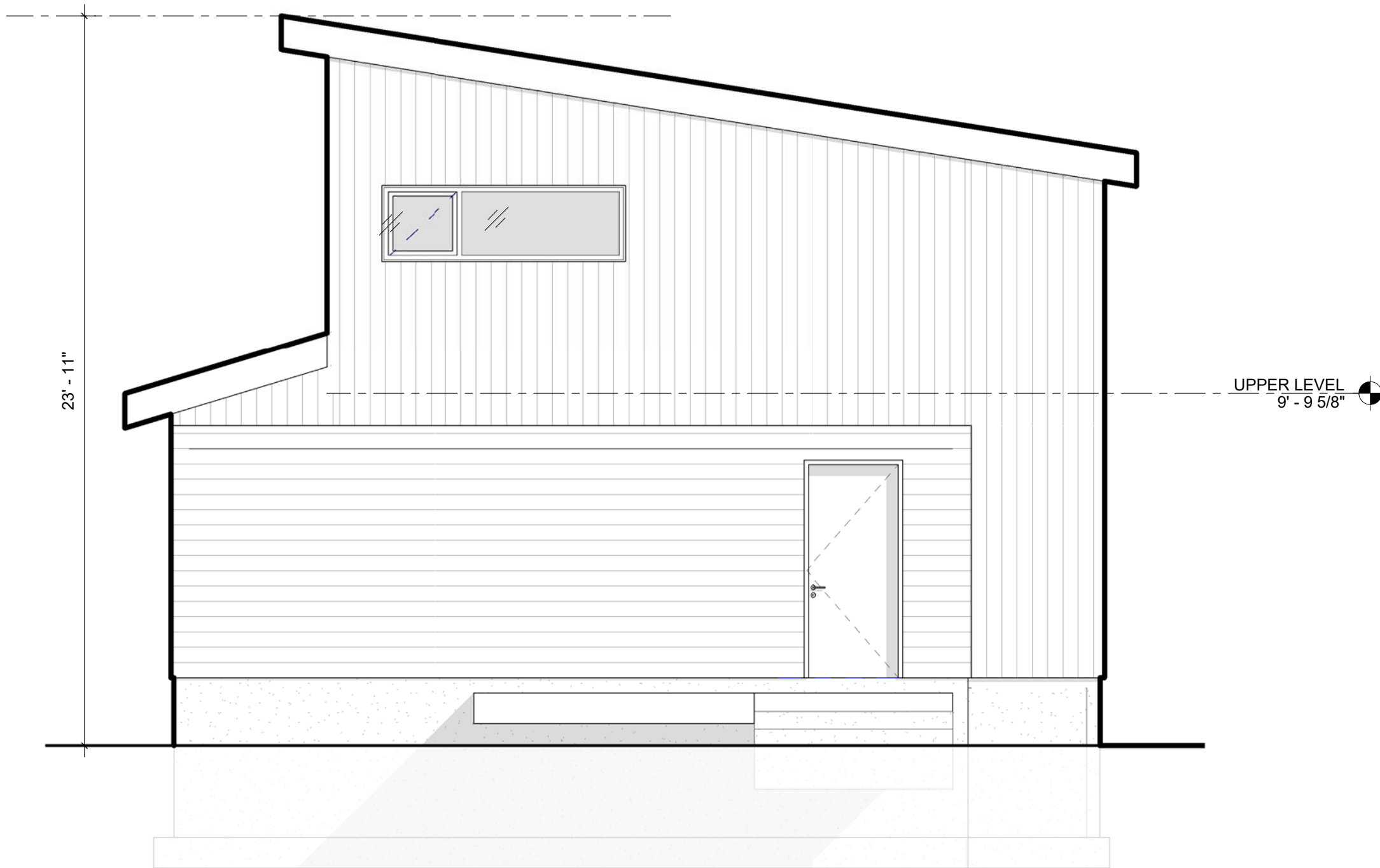
1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"



3 SOUTH ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

GENERAL NOTES:

1. X

EXTERIOR ELEVATION KEYED NOTES:

- 1 EXISTING CIP CONCRETE FOUNDATION
2 EXISTING GARAGE EXTERIOR WALL ASSEMBLY
3 EXISTING GARAGE DOOR
4 EXISTING GARAGE PORCH
5 EXISTING GARAGE WINDOW
6 EXISTING GARAGE DOOR
7 NEW 1X6 VERTICAL WOOD CLADDING, IN RAINSCREEN EXTERIOR WALL ASSEMBLY
8 NEW WINDOW, AS SCHEDULED
9 WALL OPENING IN EXTERIOR WALL ASSEMBLY
10 NEW EXTERIOR METAL GRATE STAIR
11 NEW 1X12 PAINTED WOOD FASCIA BOARD
12 NEW ASPHALT SHINGLE ROOFING
13 NEW WALL-ATTACHED PAINTED METAL HANDRAIL
14 NEW PAINTED METAL GUARDRAIL
15 EXISTING GRADE, TO REMAIN
16 NEW EXTERIOR DOOR, AS SCHEDULED
17 NEW CIP CONCRETE FOUNDATION / FOOTINGS

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EXTERIOR
ELEVATIONS

A200