



Recognized Organization Input Notification Proposed Conditional Use

TO: Landon Clark, Chair
Judi Short, Chair Land Use Committee
Sugar House Community Council

FROM: Caitlyn Tubbs, AICP, Principal Planner, Salt Lake City Planning
Division (caitlyn.tubbs@slcgov.com or 801-535-7706)

DATE: December 2, 2021

RE: PLNPCM2021-01142 Conditional Use Request for an ADU at approximately 1726 East Hollywood Avenue

The Planning Division has received the below request and is notifying your organization to solicit comments on the proposal:

Request Type: Conditional Use

Location: Approximately 1726 East Hollywood Avenue

Zone: R-1/7,000 Single Family Residential District

Request Description:

DeAnna Agbor, the owner of the property located at approximately 1726 East Hollywood Avenue, is requesting a Conditional Use in order to construct an Accessory Dwelling Unit at the same address. The ADU is proposed in a detached building and will be located in the rear yard.

I have attached information submitted by the applicant relating to the project to facilitate your review as well as an information sheet that outlines the project area clearly.

Request for Input from Your Recognized Organization

As part of this process, the applicant is required to solicit comments from Recognized Organizations. The purpose of the Recognized Organization review is to inform the community of the project and solicit comments/concerns they have with the project. The Recognized Organization may also take a vote to determine whether there is support for the project, but this is not required.

Per City Code 2.60.050 - The recognized community organization chair(s) have **forty five (45) days** to provide comments, from the date the notice was sent. A public hearing will not be held, nor will a final decision be made about the project within the forty five (45) day notice period. This notice period ends on the following day:

January 17, 2022

Please contact me to let me know if you would like the applicant to attend and present their proposal at one of your meetings within this 45 day period. Please indicate the day and time of your meeting and staff will coordinate with the applicant to attend your meeting. Planning staff will be available at the meeting to answer any questions related to decision standards or the decision making process.

Comment Guidance

Public comments will be received up to the date of the Planning Commission public hearing. However, you should submit your organization's comments within 45 days of receiving this notice in order for those comments to be included in the staff report.

As a Recognized Organization, we ask that you address the following questions in your comments:

- What issues were raised at the meeting and whether any suggestions were made to address the issues.
- The number of persons that attended the meeting (not including those with the applicant or City Staff).
- Whether a vote was taken on the matter and if so, what the vote tally was.

Approval Criteria for the Conditional Use Request

For your reference, the following are criteria that the Planning Commission will use to make its decision. The City's technical staff will review the project to ensure it complies with adopted policies and regulations. Input from your organization may be more general in nature but we recommend that you also consider the below approval criteria:

21A.54.080: STANDARDS FOR CONDITIONAL USES:

A conditional use shall be approved if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards set forth in this section. If the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards, the conditional use shall be denied.

A. Approval Standards: A conditional use shall be approved unless the planning commission, or in the case of administrative conditional uses, the planning director or designee, concludes that the following standards cannot be met:

1. The use complies with applicable provisions of this title;
2. The use is compatible, or with conditions of approval can be made compatible, with surrounding uses;
3. The use is consistent with applicable adopted city planning policies, documents, and master plans; and
4. The anticipated detrimental effects of a proposed use can be mitigated by the imposition of reasonable conditions.

B. Detrimental Effects Determination: In analyzing the anticipated detrimental effects of a proposed use, the planning commission, or in the case of administrative conditional uses, the planning director or designee, shall determine compliance with each of the following:

1. This title specifically authorizes the use where it is located;
2. The use is consistent with applicable policies set forth in adopted citywide, community, and small area master plans and future land use maps;
3. The use is well suited to the character of the site, and adjacent uses as shown by an analysis of the intensity, size, and scale of the use compared to existing uses in the surrounding area;
4. The mass, scale, style, design, and architectural detailing of the surrounding structures as they relate to the proposed have been considered;

5. Access points and driveways are designed to minimize grading of natural topography, direct vehicular traffic onto major streets, and not impede traffic flows;
6. The internal circulation system is designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;
7. The site is designed to enable access and circulation for pedestrian and bicycles;
8. Access to the site does not unreasonably impact the service level of any abutting or adjacent street;
9. The location and design of off street parking complies with applicable standards of this code;
10. Utility capacity is sufficient to support the use at normal service levels;
11. The use is appropriately screened, buffered, or separated from adjoining dissimilar uses to mitigate potential use conflicts;
12. The use meets city sustainability plans, does not significantly impact the quality of surrounding air and water, encroach into a river or stream, or introduce any hazard or environmental damage to any adjacent property, including cigarette smoke;
13. The hours of operation and delivery of the use are compatible with surrounding uses;
14. Signs and lighting are compatible with, and do not negatively impact surrounding uses; and
15. The proposed use does not undermine preservation of historic resources and structures.

C. Conditions Imposed: The planning commission, or in the case of administrative conditional uses, the planning director or the director's designee, may impose on a conditional use any conditions necessary to address the foregoing factors which may include, but are not limited to:

1. Conditions on the scope of the use; its character, location, hours and methods of operation, architecture, signage, construction, landscaping, access, loading and parking, sanitation, drainage and utilities, fencing and screening, and setbacks; and
2. Conditions needed to mitigate any natural hazards; assure public safety; address environmental impacts; and mitigate dust, fumes, smoke, odor, noise, vibrations; chemicals, toxins, pathogens, gases, heat, light, and radiation.

Comment Submission Address

You may submit your written comments via e-mail to caitlyn.tubbs@slcgov.com or mail them to:

**ATTN Caitlyn Tubbs
Salt Lake City Planning Division
451 S State St Rm 406
PO Box 145480
Salt Lake City UT 84114-5480**

If you have any questions, please call me at (801)-535-7706 or contact me via e-mail.



HOLLYWOOD REMODEL

1726 E. HOLLYWOOD AVE SALT LAKE CITY

MAIN FLOOR PLAN

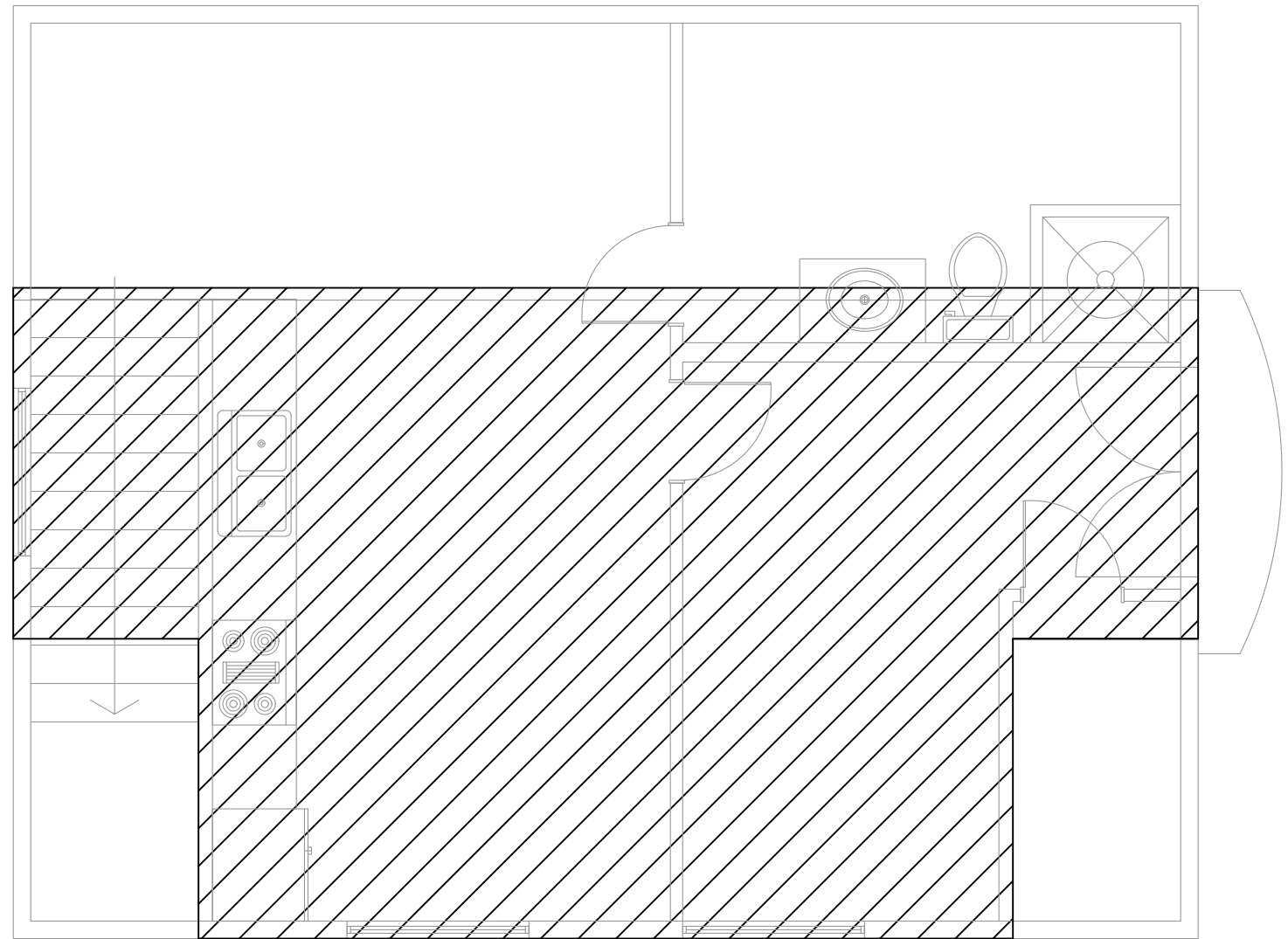
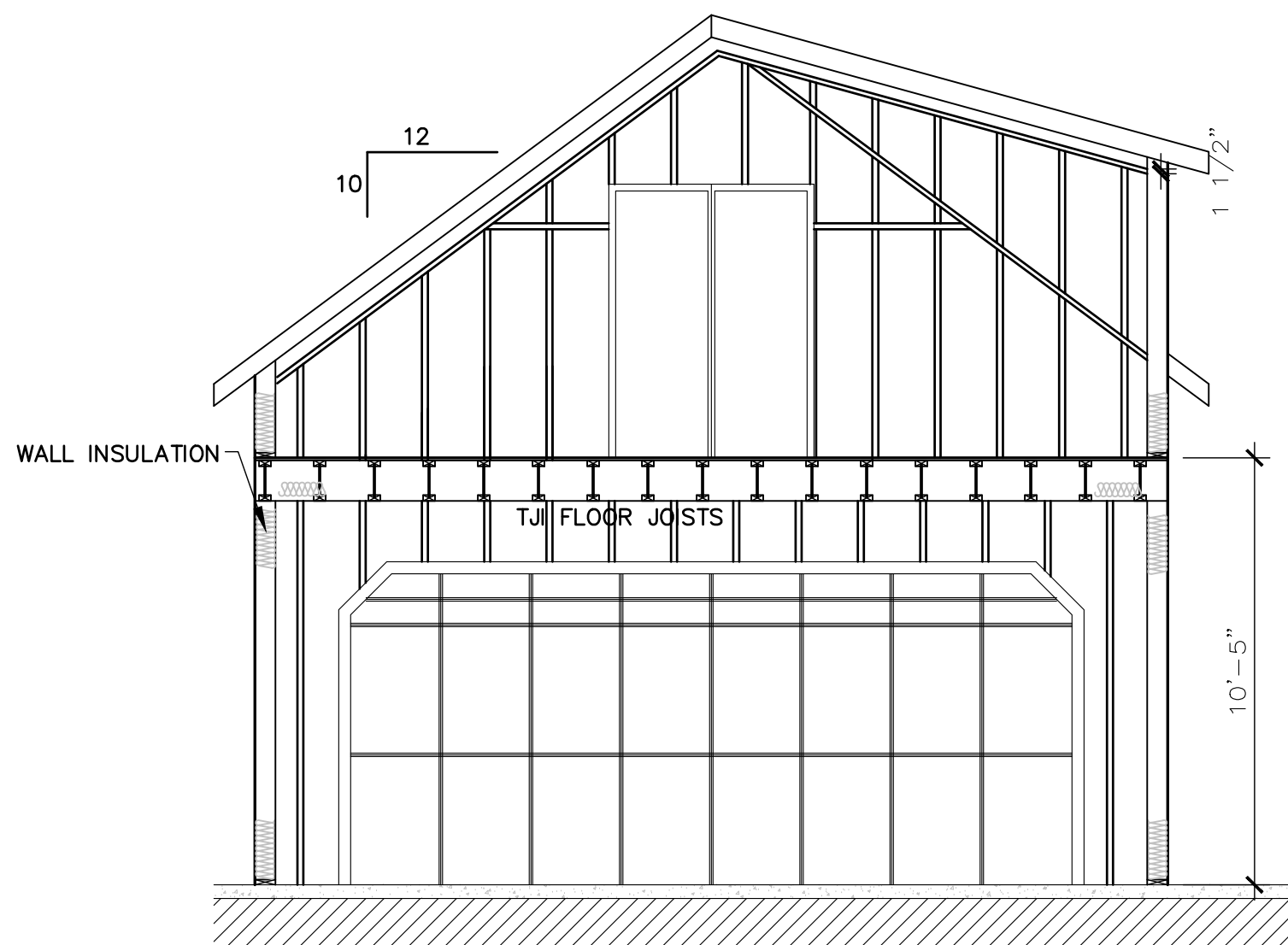
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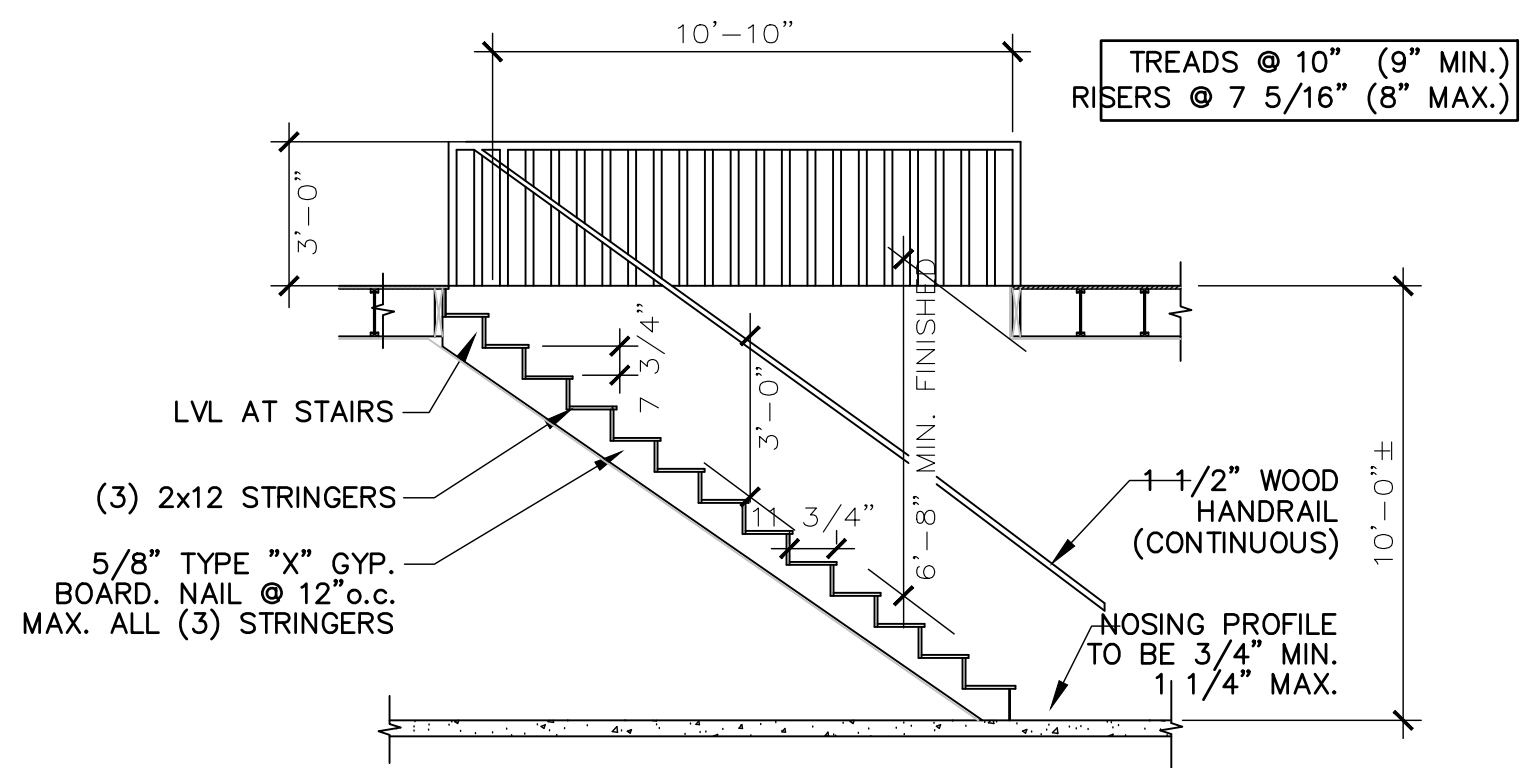
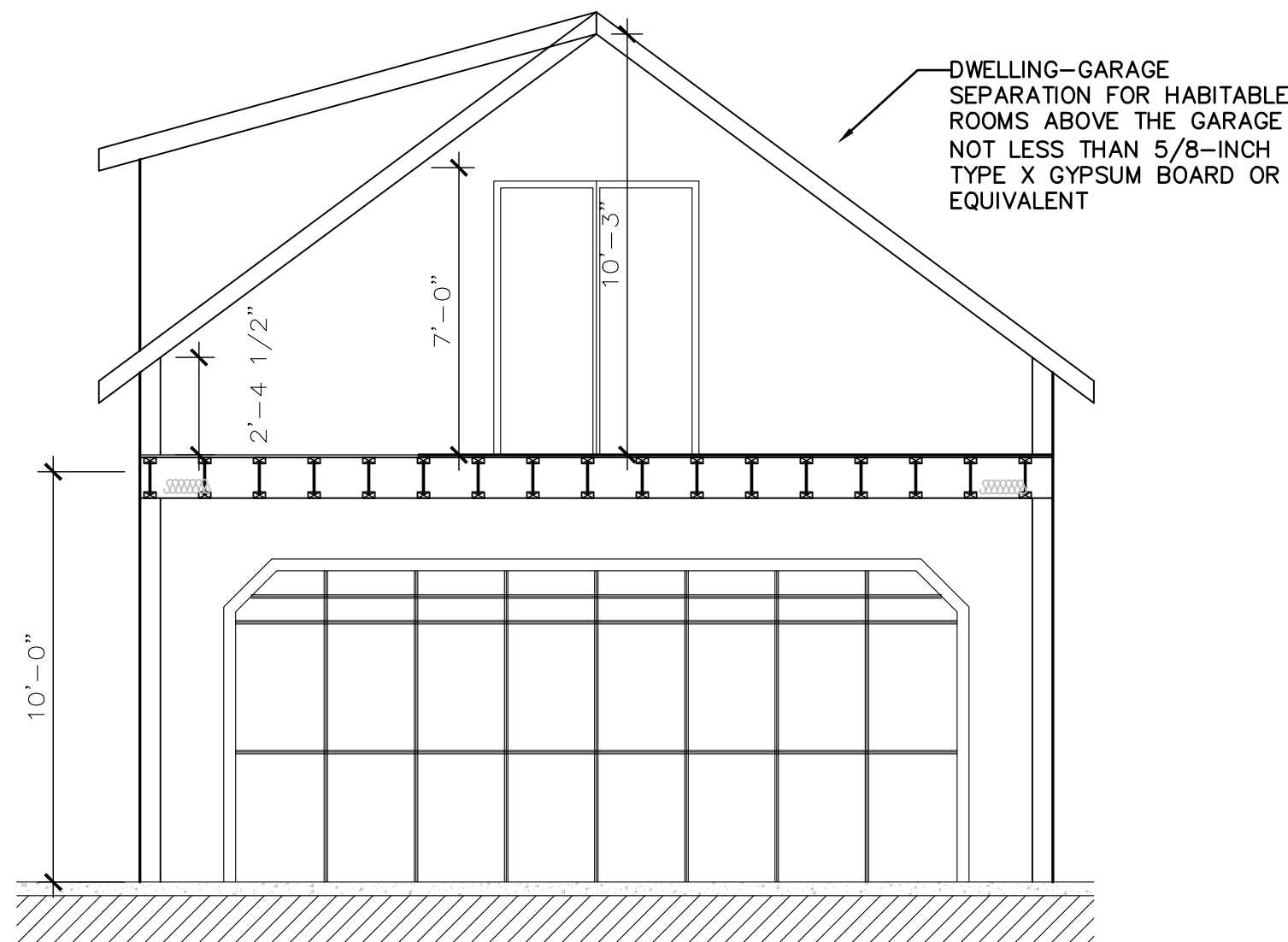
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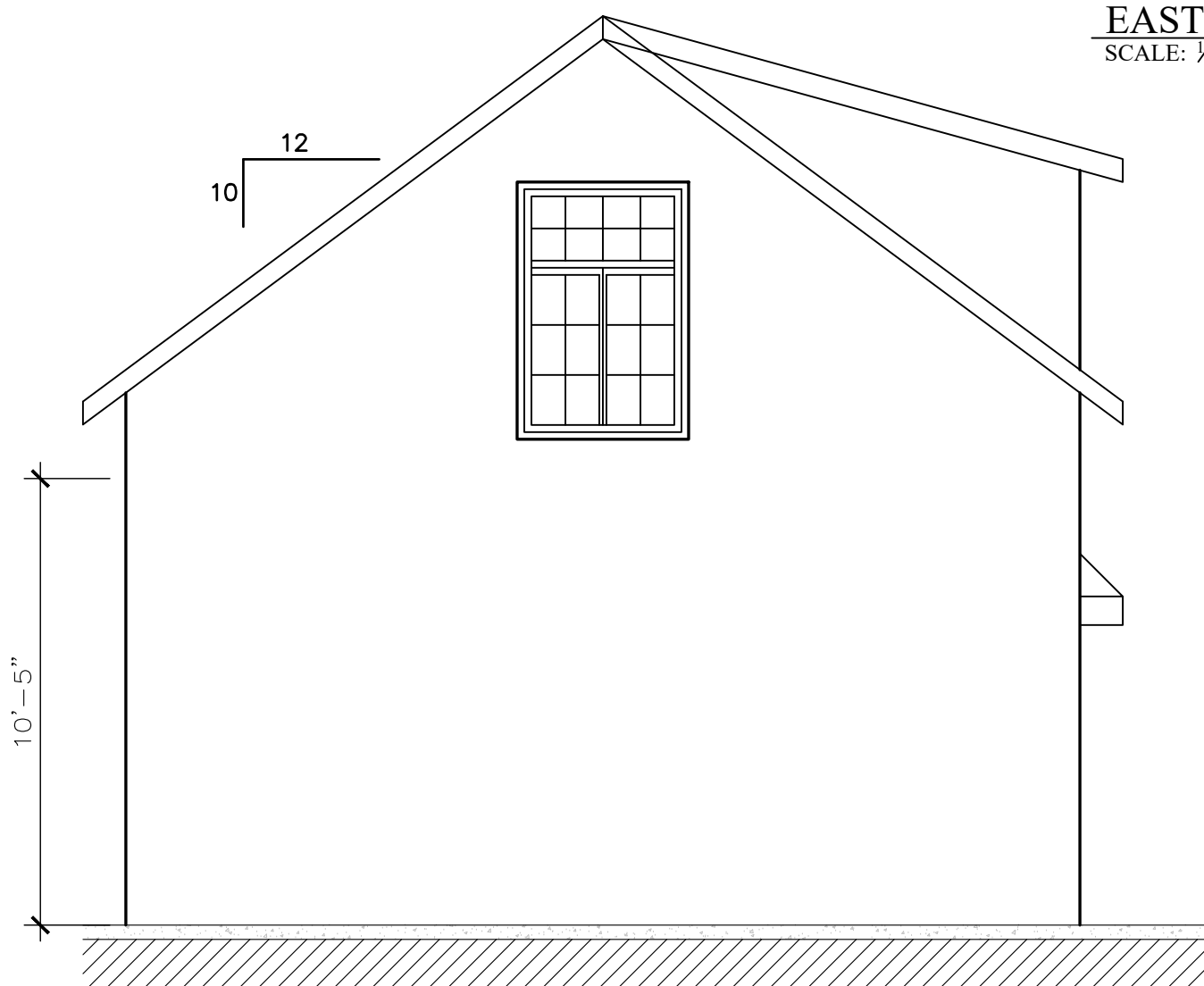
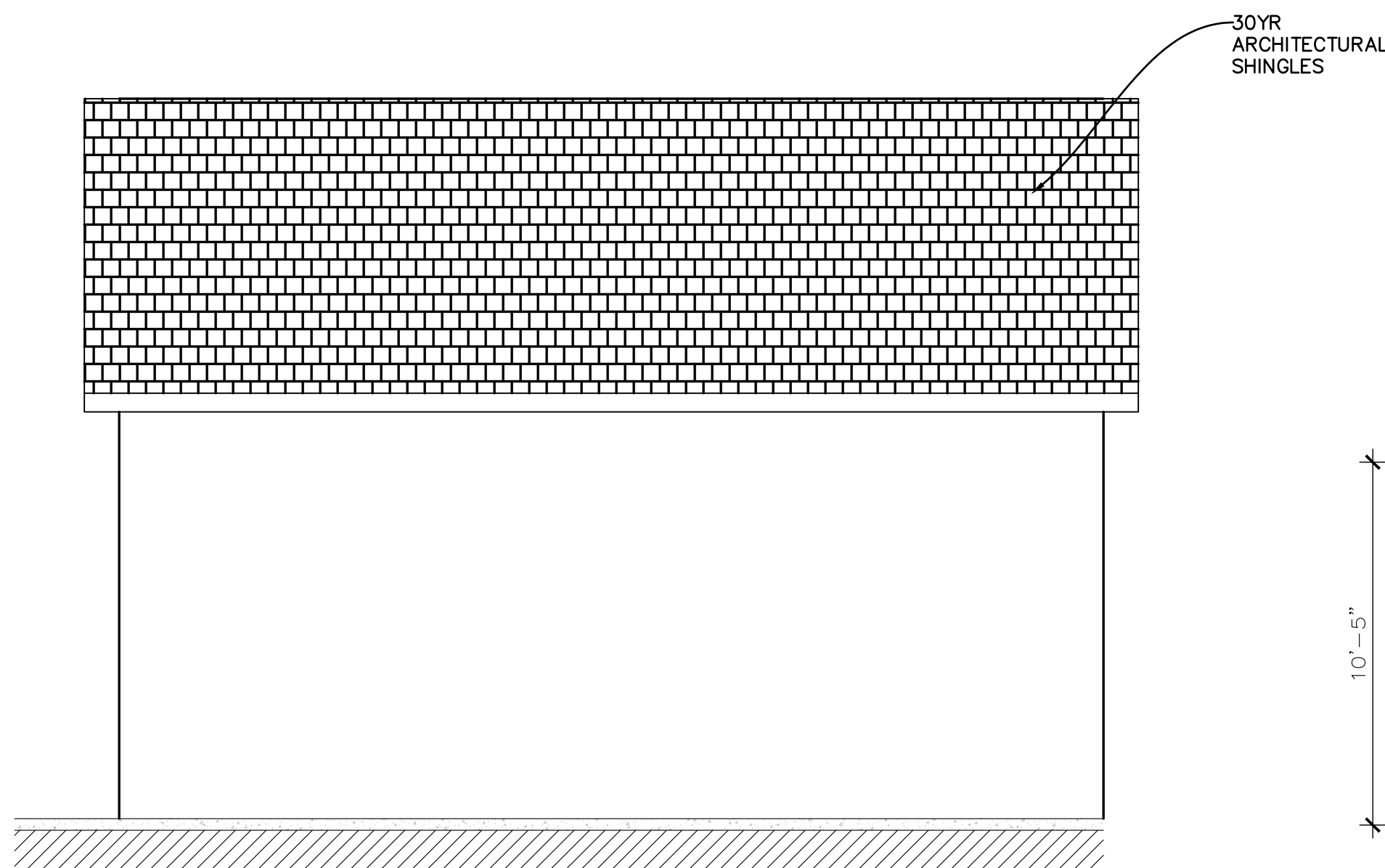
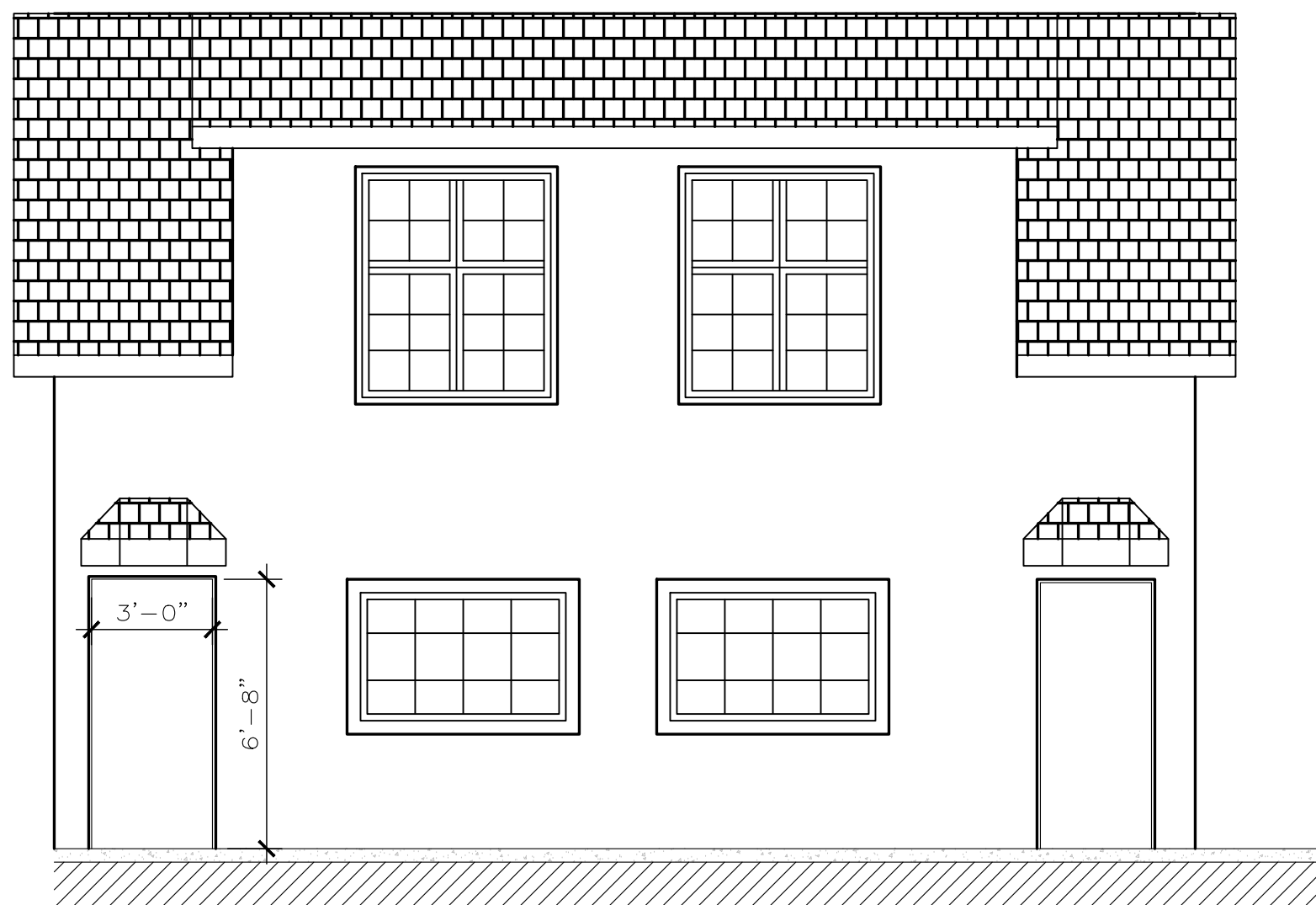


AREA CALCULATION

CALCULATIONS OF FLOOR AREA PER R305.1 E1
-TOTAL FLOOR AREA = 587.17 S.F.
-7'-0" FLOOR AREA = 375.88 S.F.
% OF FLOOR AREA = 60% > 50% MIN OK.



TYP. STAIR SECTION
SCALE: 1/4"=1'-0"



HOLLYWOOD REMODEL
1726 E. HOLLYWOOD AVE SALT LAKE CITY
ELEVATIONS

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FLOOR PLAN

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Date: 11/16/20
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Job #: 20-029

HOLLYWOOD REMODEL

CONTRACTOR: DRAWING INDEX

TBD

ADDRESS:
1726 E. HOLLYWOOD AVE
SALT LAKE CITY

CODES

- INTERNATIONAL RESIDENTIAL CODE (IRC) 2015

SCOPE

THE WORK INCLUDES IMPROVEMENTS TO EXISTING SFD.

- REPLACE BEARING WALLS W/ NEW BEAMS
- NEW KITCHEN, BATHROOM AND BEDROOM
- INTERIOR REMODEL, CARPET, PAINT CABINETS.
- HVAC TO REMAIN UNALTERED.

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC), LOCAL AMENDMENTS TO THE THIS CODE, AND/OR ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK PERFORMED.
- THE GENERAL CONTRACTOR SHALL HEREAFTER BE REFERRED TO AS "GENERAL CONTRACTOR" OR "GC" OR. THE OWNER MAY HEREAFTER BE REFERRED TO AS "OWNER". THE INTERIOR DESIGNER MAY HEREAFTER BE REFERRED TO AS DESIGNER
- PLEASE NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK REGARDLESS OF THE LOCATION OF THE INFORMATION IN THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL UTILIZE THE CONSTRUCTION DRAWINGS AND WRITTEN SPECIFICATIONS FOR ALL REQUIRED INFORMATION TO PROVIDE COMPLETE CONSTRUCTION OF THIS PROJECT. ITEMS USED IN DRAWINGS MAY NOT BE INCLUDED IN SPECIFICATIONS. ITEMS LISTED IN SPECIFICATIONS MAY NOT BE INCLUDED IN DRAWINGS
- UNLESS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS AS BEING NOT IN CONTRACT (N.I.C.) OR EXISTING, ALL ITEMS, MATERIALS AND INSTALLATION OF SAME ARE PART OF THE CONTRACT AS DEFINED BY THE CONSTRUCTION DOCUMENTS. INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED. THE GC SHALL PROVIDE AND INSTALL ALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK DEPICTED OR SPECIFIED.
- THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO BEGINNING ANY WORK AND SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUBCONTRACTORS. THE GC SHALL ACCEPT PREMISES AS FOUND. OWNER WILL MAINTAIN THE EXISTING CONDITION OF THE SITE AND EXISTING STRUCTURES AT THE TIME OF BIDDING.
- DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. ARCHITECT ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK THE GENERAL CONTRACTOR IS TO CLARIFY WITH THE
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO CONTINUING WITH WORK.
- ALL PLAN DIMENSIONS ARE FROM GRID LINE OR FACE OF STUD OR FACE OF BLOCK UNLESS OTHERWISE INDICATED. SEE SECTION ON DIMENSIONING" THIS SHEET
- THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ALL CONDITIONS REQUIRING COORDINATION/ CHANGES WITH THE CONTRACT DOCUMENTS. COORDINATION / APPROVAL SHALL TAKE PLACE BEFORE THE WORK BEGINS. ALL CHANGES TO THE CONTRACT COST SHALL BE APPROVED THROUGH A CHANGE ORDER
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS
- THE ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE ARCHITECT WILL NOT REVIEW SHOP DRAWINGS UNTIL THE GC HAS REVIEWED AND STAMPED THE SHOP DRAWING/SUBMITTAL THE GC IS RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS SHOWN SHOP DRAWINGS. THE ARCHITECTS REVIEW OF THE SHOP DRAWINGS SHALL NOT OVERRIDE THE CONDITIONS DESCRIBED IN THE CONTRACT DOCUMENTS UNLESS SPECIFICALLY NOTED OTHERWISE BY THE ARCHITECT
- FOR CONSTRUCTION DETAILS NOT SHOWN USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS / DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- ALL WORK, MATERIALS AND METHODS SHALL BE IN CONFORMANCE WITH THE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT LOCATION. THE GENERAL CONTRACTOR MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES
- THE GENERAL CONTRACTOR SHALL NOTIFY ALL APPLICABLE LOCAL GOVERNING AUTHORITIES AND UTILITY COMPANIES PRIOR TO COVERING WORK REQUIRING INSPECTION
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL REQUIRED EXITS AND FIRE LANES IN WORKING ORDER
- A GENERAL BUILDING PERMIT SHALL BE PAID FOR BY THE GENERAL CONTRACTOR. ALL OTHER PERMITS AND CONNECTION FEES SHALL RE PAID FOR BY THE GENERAL CONTRACTOR
- FIRE EXTINGUISHERS TO BE PROVIDED PER MINIMUM CODE REQUIREMENTS
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES
- THE GENERAL CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE AND LIABLE FOR PUBLIC AND EMPLOYEE PR AND AS REQUIRED BY THE CODES, INCLUDING EXTERIOR NECESSARY PEDESTRIAN TRAFFIC BARRIERS ALL WORK SHALL CONFORM TO THE ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT

21. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES FOR DUST AND NOISE CONTROL WHERE WORK JOINS EXISTING CONDITIONS

22. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND ALL AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES

23. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CON TRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE PROSECUTION OF THE WORK.

24. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE GENERAL CONTRACTOR SHALL ALSO MAINTAIN, IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS ADDENDA AND CHANGE ORDERS, ON THE PREMISES AT ALL TIMES THESE ARE TO BE KEPT UNDER THE CARE OF THE JOB SUPERINTENDENT

25. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR (OR AS OTHERWISE SPECIFIED) FOR A SPECIFIC COMPONENT AFTER THE DATE OF SUBSTANTIAL COMPLETION.

26. THE CONTRACTOR IS TO PROVIDE BLOCKING AS REQUIRED FOR MOUNTING OF WALL MOUNTED SHELVES, CABINETS, HC GRAB BARS AND PARTITION BRACES, BLOCKING SHALL BE FIRE TREATED WHERE REQUIRED BY THE BUILDING CODE.

27. PROVIDE GALVANIC PROTECTION BETWEEN DISSIMILAR MATERIALS WHERE REQUIRED.

28. PROVIDE METAL TRIM OR CASING AT ALL EDGES OF PLASTER AND DRYWALL SURFACES WHERE IT TERMINATES OR MEETS ANOTHER MATERIAL, UNLESS NOTED OTHERWISE PROMIDE METAL CORNER TRIM AT ALL CORNERS (INSIDE AND OUT) OF PLASTER AND DRYWALL SURFACES

29. ALL PENETRATIONS THROUGH ANY SURFACE SHALL BE THOROUGHLY SEALED WITH APPROPRIATE SEALANT MATERIAL

30. UNLESS OTHERWISE NOTED, ALL EXTERIOR AND INTERIOR METAL, TRIM, TREILLAGE, RAILINGS, MOLDINGS, FRAMES, CASTING ETC, SHALL BE PAINTED

31. FOR PLUMBING, FIRE SPRINKLER AND ELECTRICAL SYSTEMS, PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES FOR ANY PENETRATIONS IN RATED CONSTRUCTION.

DEMOLITION & SALVAGE NOTES

32. GC TO PROTECT (DURING DEMOLITION & CONSTRUCTION) EXISTING BUILDING TO REMAIN. CONTRACTOR (AT CONTRACTOR'S EXPENSE) WILL BE RESPONSIBLE TO REPAIR/REPLACE EXISTING ELEMENTS TO REMAIN THAT ARE DAMAGED.

33. GC SHALL CUT, REMOVE, AND TERMINATE ANY EXISTING ELECTRICAL PHONE, DATA LINES AFFECTED BY DEMOLITION. GC TO COORDINATE W A/E TEAM REGARDING REMOVAL AND CAPPING OF LINES GC SHALL VERIFY THAT NO EXISTING SYSTEMS WILL BE IN CONFLICT WITH EITHER DEMOLITION OR NEW CONSTRUCTION.

34. DEMOLITION NOT SPECIFICALLY NOTED BUT REQUIRED TO MEET THE REQUIREMENTS FOR NEW CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GC. COORDINATE WITH ARCHITECT.

35. SALVAGE: WHERE ITEMS ARE CALLED FOR TO BE SALVAGED THE ITEM SHALL BE REMOVED IN SUCH A MANNER THAT IT IS PROTECTED FROM DAMAGE AND IN SUITABLE CONDITION TO BE RE-USED. THE GC SHALL BE RESPONSIBLE TO STORE FOR RE-USE.

36. DISPOSE: WHERE ITEMS ARE CALLED TO "DISPOSE" THE ITEMS SHALL BE RECYCLED OR DISPOSED OF PER SPECIFICATIONS.

37. REMOVE EXISTING EXPOSED FASTENERS, SCREWS, AND OR BOLTS NOT ATTACHED TO REMAINING BUILDING COMPONENTS&EQUIPMENT. PATCH FILL HOLES AND PAINT OR REFINISH AS REQUIRED.

38. ALL PLUMBING FIXTURES, PIPING AND MECHANICAL EQUIPMENT IN OR ATTACHED TO EXISTING WALLS TO BE DEMOLISHED SHALL BE ENTIRELY REMOVED OR CUT & PROPERLY CAPPED.

HOLLYWOOD GARAGE

1726 E. HOLLYWOOD AVE SALT LAKE CITY

COVER SHEET

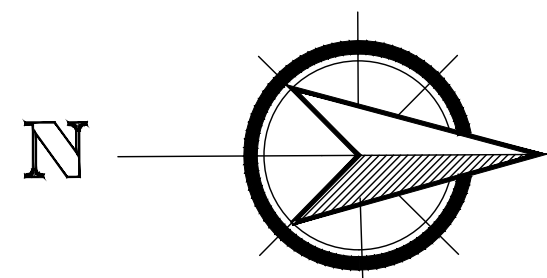
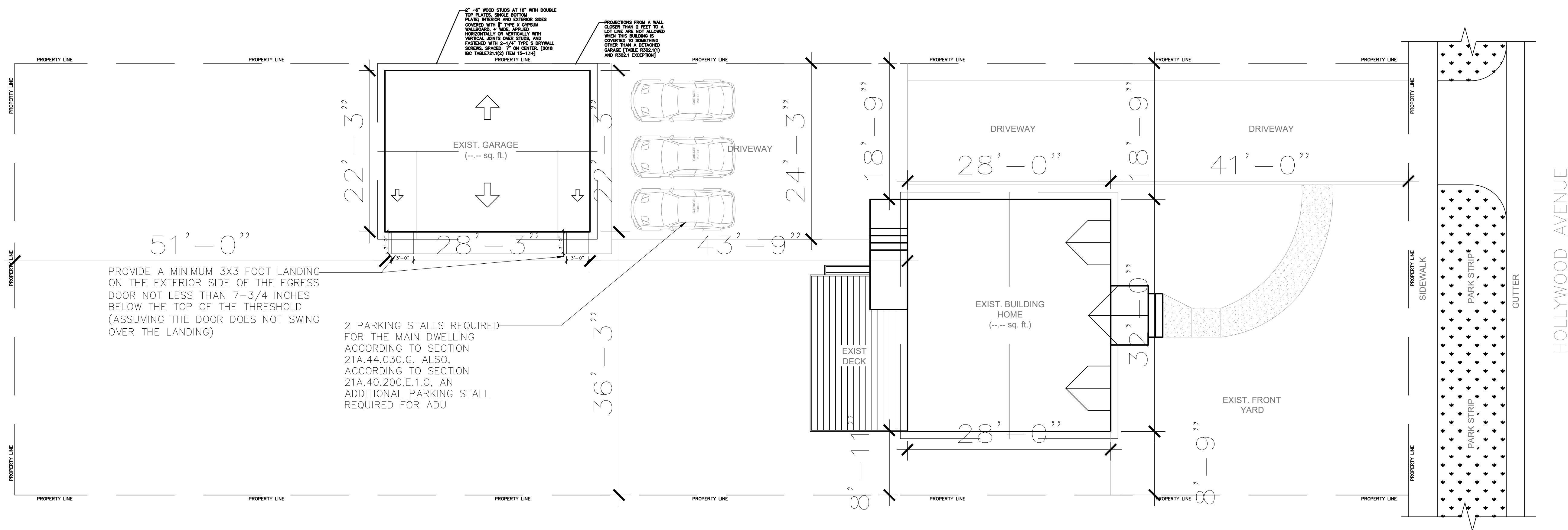
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COVER SHEET

Scale: 1/4"=1'	Drawn: GD
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C1



SITE PLAN
SCALE: 1"=10'

LOT #1
11,424 S.F.

1726 HOLLYWOOD
DRIVE.SALT LAKE CITY,
UTAH

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/BUILDER AND THE SUB CONTRACTORS TO REVIEW THE PLANS THOROUGHLY BEFORE GIVING AND/OR ACCEPTING BIDS. IF ANY ISSUES ARISE DURING REVIEW AND INSPECTION OF THE PLANS AND THEY ARE MADE KNOWN TO THE DESIGNER, WE WILL MAKE THE CHANGES AT NO ADDITIONAL COST. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING OF DRAWINGS. IF ISSUES ARE FOUND AFTER THE HOUSE IS IN THE CONSTRUCTION PHASE, WHICH WERE NOT BROUGHT TO THE ATTENTION OF THE DESIGNER, WILL NOT BE LIABLE NOR RESPONSIBLE. IT WILL BE FOR THE BUILDER AND SUB CONTRACTOR TO WORK OUT. THESE PLANS ARE DESIGNED TO THE BEST OF OUR KNOWLEDGE OF THE SITUATION AT THE TIME, BUT ALL CONTRACTORS WHO WORK OFF THE PLANS ARE RESPONSIBLE FOR ANYTHING WITHIN THEIR SPHERE OF EXPERTISE. DO NOT SCALE DRAWINGS.

THIS SITE PLAN IS BASED ON INFORMATION PROVIDED TO THE DESIGNER. ALTHOUGH EVERY EFFORT IS MADE TO INSURE ACCURACY, WE ASSUME NO LIABILITY FOR THE PLACEMENT OF THE HOUSE ON THE LOT. IT IS THE RESPONSIBILITY OF THE BUILDER TO VERIFY ALL ACTUAL SITE CONDITIONS AS WELL AS COMPLIANCE WITH ALL LOCAL ORDINANCES, EASEMENTS, SETBACKS ETC.

HOLLYWOOD REMODEL

1726 E. HOLLYWOOD AVE SALT LAKE CITY

SITE PLAN

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SITE PLAN

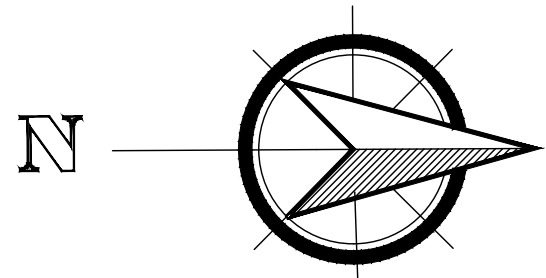
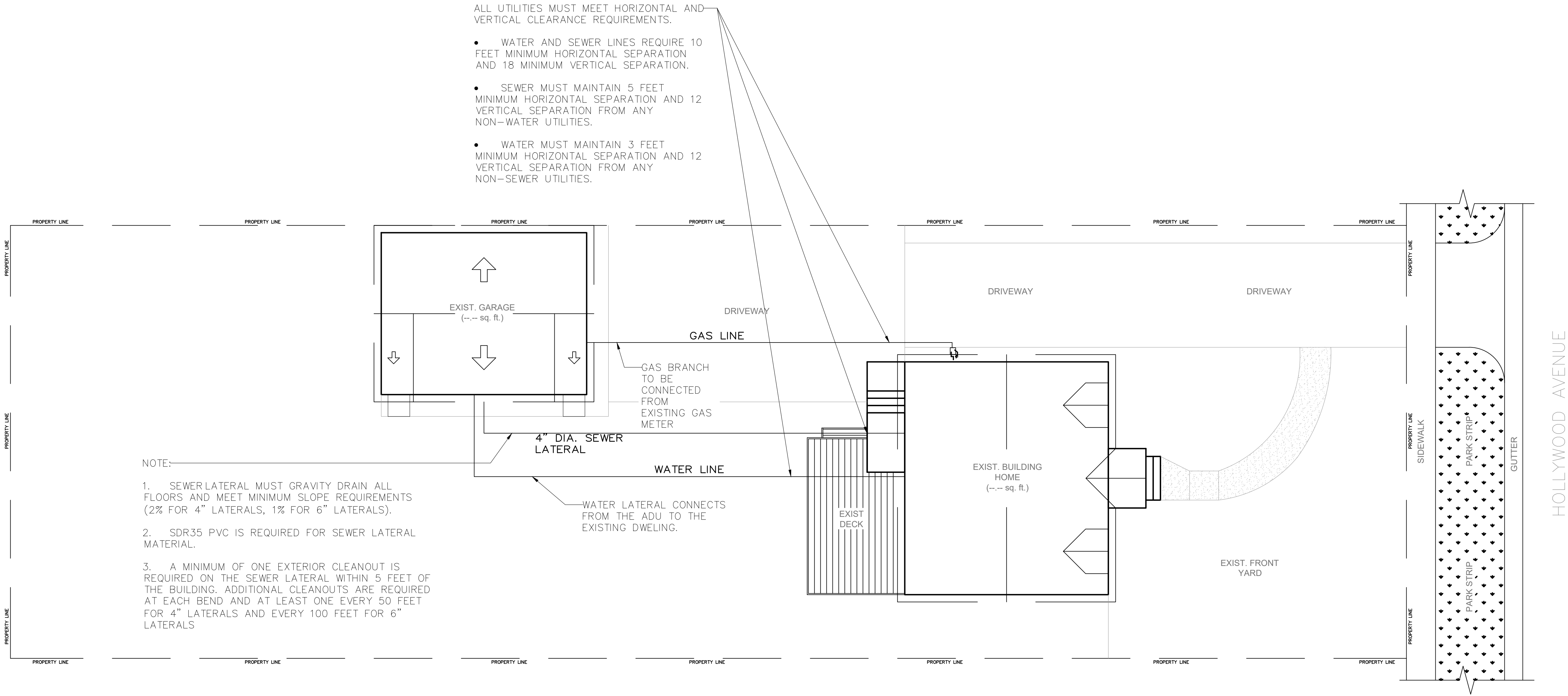
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SP1

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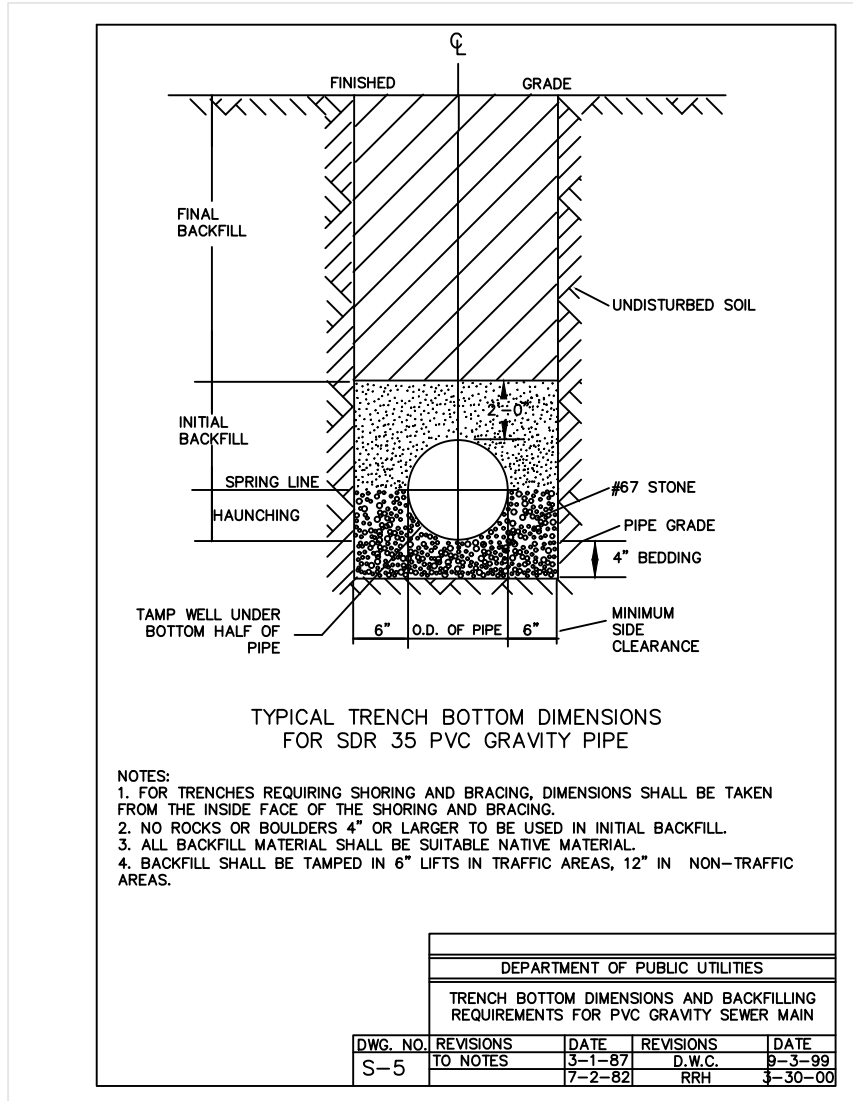


SITE UTILITY PLAN

SCALE: 1"=10'

LOT #1
11,424 S.F.

1726 HOLLYWOOD
DRIVE.SALT LAKE CITY,
UTAH



HOLLYWOOD REMODEL

1726 E. HOLLYWOOD AVE SALT LAKE CITY

SITE UTILITY PLAN

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SITE UTILITY PLAN

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Conditional Use Information

1. But while the job is in process it will probably be 8 to 5 pm when the job is done there are no hours.
2. Residential
3. No more than two at a time. Until the job is complete
4. No Seats
5. Some of the neighbors